



## PLANNING DEVELOPMENT

### Information Sheet

Development applications are lodged with the local government, even if the proposal has environmental significance or traffic implications and is subsequently referred to the Department of Environment, Mains Roads or other agencies for comment. Planning approval is generally required prior to the use of land or building. In most cases a change of use also requires planning approval.

The reasons for requiring development approval include the avoidance of conflict between uses on adjoining lots. It is also necessary to ensure the completed development meets certain minimum standards such as building setbacks, car parking or landscaping.

The primary means of controlling residential development in Western Australia is the Residential Design Codes (R Codes). The codes set out criteria for the development of residential land, including standards for lot sizes, setbacks, open space and plot ratio. The Western Australian Planning Commission may have regard to the prescribed minimum and average lot sizes when considering applications for the subdivision of land. The codes are presently accepted as the uniform basis for residential development and provide for a degree of certainty in defining areas of low, medium and higher residential densities within local government districts, having regard to services, transport, employment and community facilities.

When considering a development application the Local government will take into account the provisions of the local Town Planning Scheme and any relevant planning strategies, policies and structure plans.

The Shire of Plantagenet Town Planning Scheme No. 3 is the primary planning instrument. It sets the zoning standards and provisions for land use throughout the Shire. The Town Planning Scheme requires certain developments to be advertised in the immediate vicinity of the proposal. The local government must consider any submissions before making a decision.

An applicant has a right of appeal if an application is refused or if it is approved subject to conditions, which are considered unacceptable to the applicant.

In addition to planning approval, an applicant may need to obtain other approvals such as a building licence, before development proceeds.

For further information contact: Shire of Plantagenet Phone: (08) 9892 1111, Fax: (08) 9892 1100 or email [info@plantagenet.wa.gov.au](mailto:info@plantagenet.wa.gov.au)



## PLANNING CONSENT APPLICATION REQUIREMENTS

Town Planning Scheme No. 3 requires an application for planning consent to comprise of the following:

- Schedule 6 – Application for Planning Consent form (to be signed by all owners);
- Payment of scheduled fee according to value of development – please contact planning officer for correct fee.
- Site plan or plans (not exceeding A3 in size);
- Plans, elevations, contours and sections of any buildings proposed to be erected or altered and of any buildings it is intended to retain; and
- Such other information as the Council may reasonably require to enable the application to be determined.

### **The Scheme also requires:**

Unless otherwise determined by the council in a particular case, a site plan shall be to a scale of not less than 1:500 and shall show:

- Street names, lot number(s), north point and the dimensions of the site;
- The location and proposed use of any existing buildings to be retained and the location and the use of buildings proposed to be erected on site;
- Any physical features including trees, which may be affected by the proposed development;
- The existing and proposed means of access for pedestrians and vehicles to and from the site;
- The location, dimensions and design of any landscaped, parking, open storage or trade display area and particulars of the manner in which development is proposed.
- Contours of the property.

### **\*\*\*DISCLAIMER\*\*\***

**This information sheet is a guide only. Verification with original Local laws, Acts, Planning Schemes and other relevant documents is recommended for detailed references. The Shire of Plantagenet accepts no responsibility for errors or omissions.**

*Planning and Development Act 2005*  
 Shire of Plantagenet  
 Town Planning Scheme No. 3 – Schedule 6  
**Application for development approval**

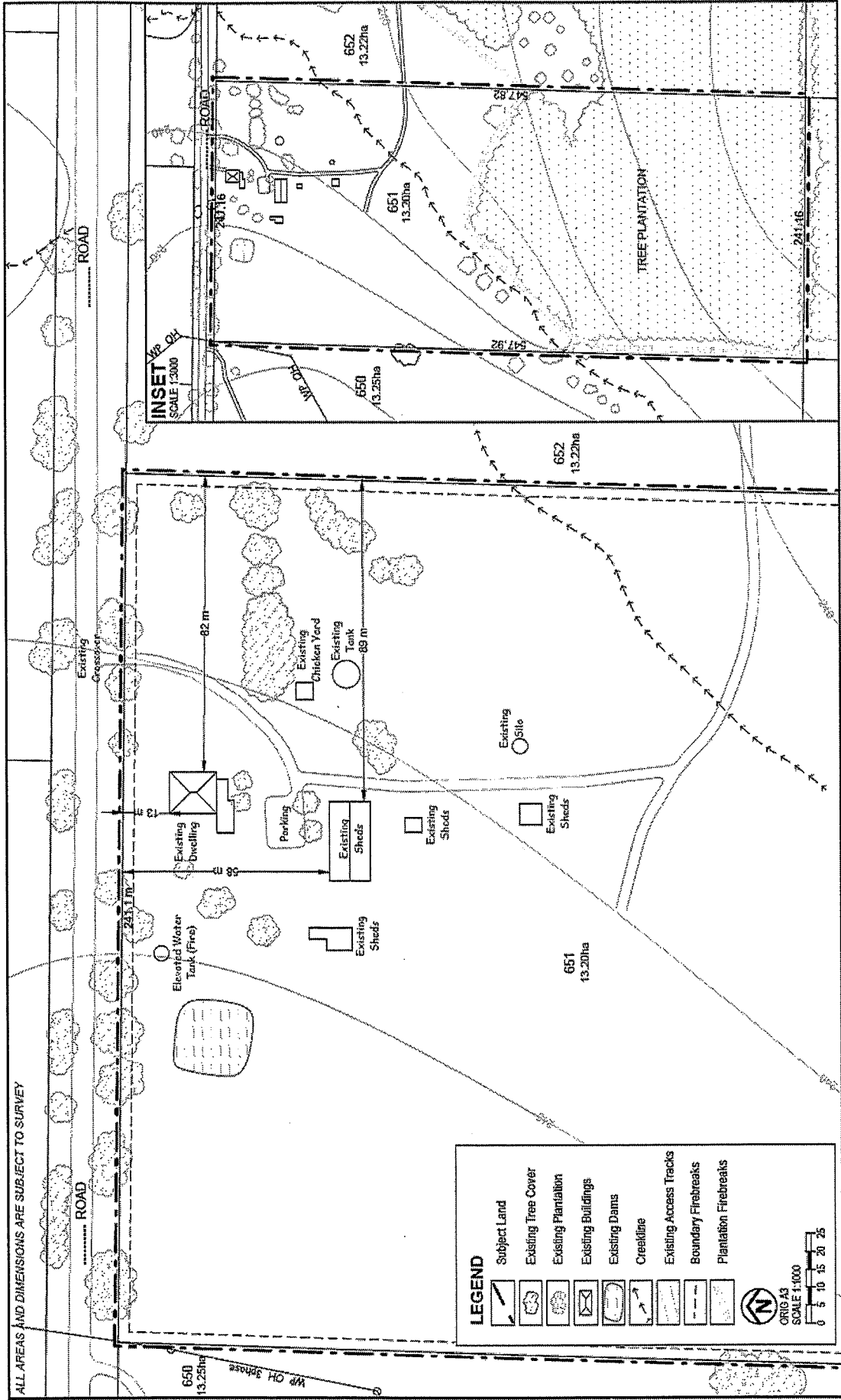
<b>Owner Details</b>		
Name:		
ABN (if applicable):		
Address: .....		
.....		Postcode: .....
Phone:	Fax:	Email:
Work: .....	.....	.....
Home: .....		
Mobile: .....		
Contact Person for Correspondence:		
Signature:		Date:
Signature:		Date
<i>The signature of the owner(s) is required on all applications. This application will not proceed without that signature. For the purposes of signing this application an owner includes the persons referred to in the Planning and Development (Local Planning Schemes) Regulations 2015 Schedule 2 clause 62(2).</i>		

<b>Applicant details (if different from owner)</b>		
Name:		
Address: .....		
.....		Postcode: .....
Phone:	Fax:	Email:
Work: .....	.....	.....
Home: .....		
Mobile: .....		
Contact Person for Correspondence:		
The information and plans provided with this application may be made available by the local government for public viewing in connection with the application. <input type="checkbox"/> Yes <input type="checkbox"/> No		
Signature:		Date:

Property details		
Lot No:	House/Street No:	Location No:
Diagram or Plan No:	Certificate of Title Vol. No:	Folio:
Title encumbrances (e.g. easements, restrictive covenants): .....		
Street name:		Suburb:
Nearest street intersection:		

Proposed development	
Nature of development:	<input type="checkbox"/> Works <input type="checkbox"/> Use <input type="checkbox"/> Works and use
Is an exemption from development claimed for part of the development? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, is the exemption for: <input type="checkbox"/> Works <input type="checkbox"/> Use	
Description of proposed works and/or land use: .....	
Description of exemption claimed (if relevant): .....	
Nature of any existing buildings and/or land use:	
Approximate cost of proposed development:	
Estimated time of completion:	

OFFICE USE ONLY	
Acceptance Officer's initials:	Date received:
Local government reference No:	Fees paid:



**EXAMPLE SITE PLAN**

**SITE PLAN**

Lot ... .....Road  
Mount Barker, Shire of Plantagenet