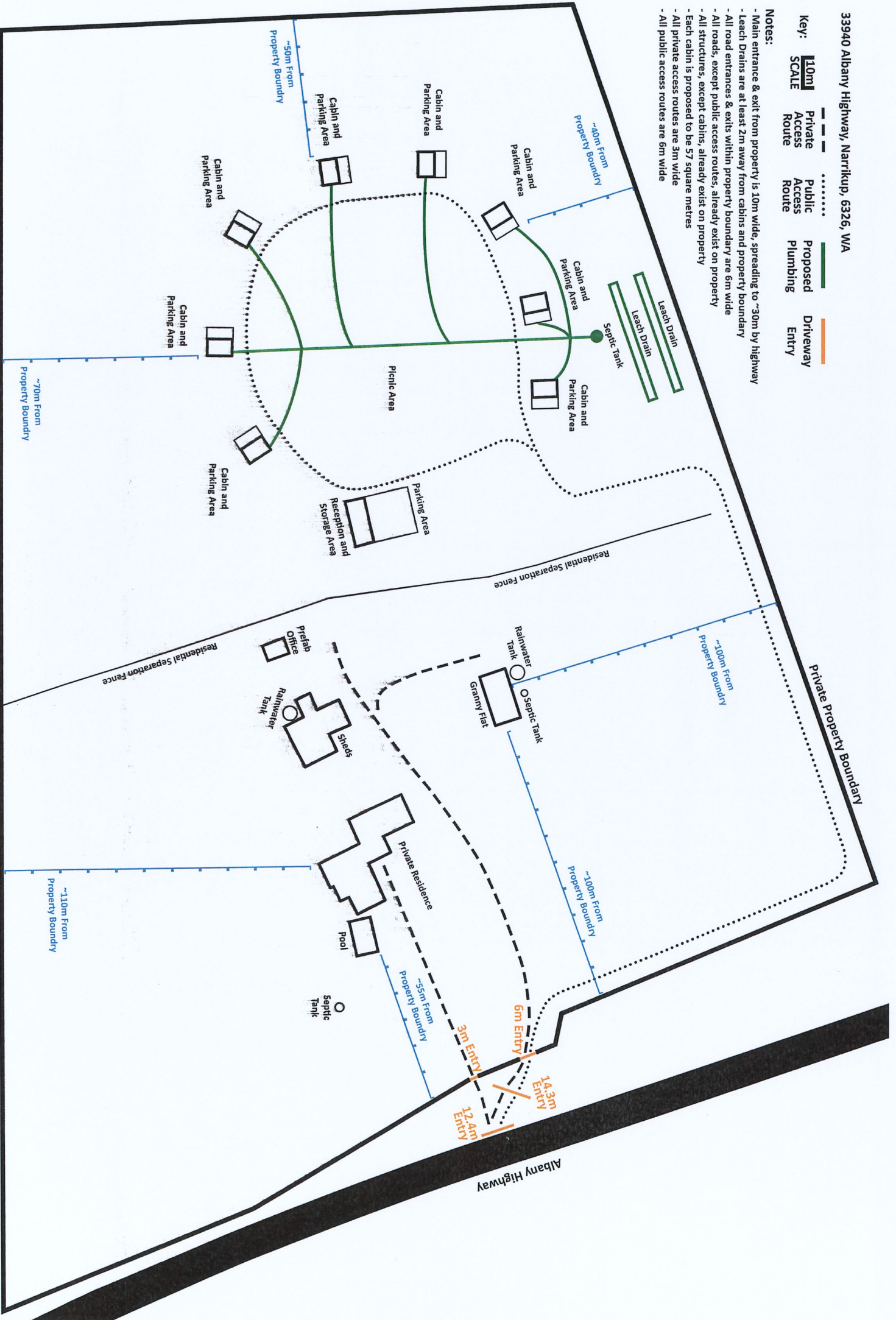


33940 Albany Highway, Narrikup, 6326, WA

Key: **110m SCALE**
 Private Access Route
 Public Access Route
 Proposed Plumbing
 Driveway Entry

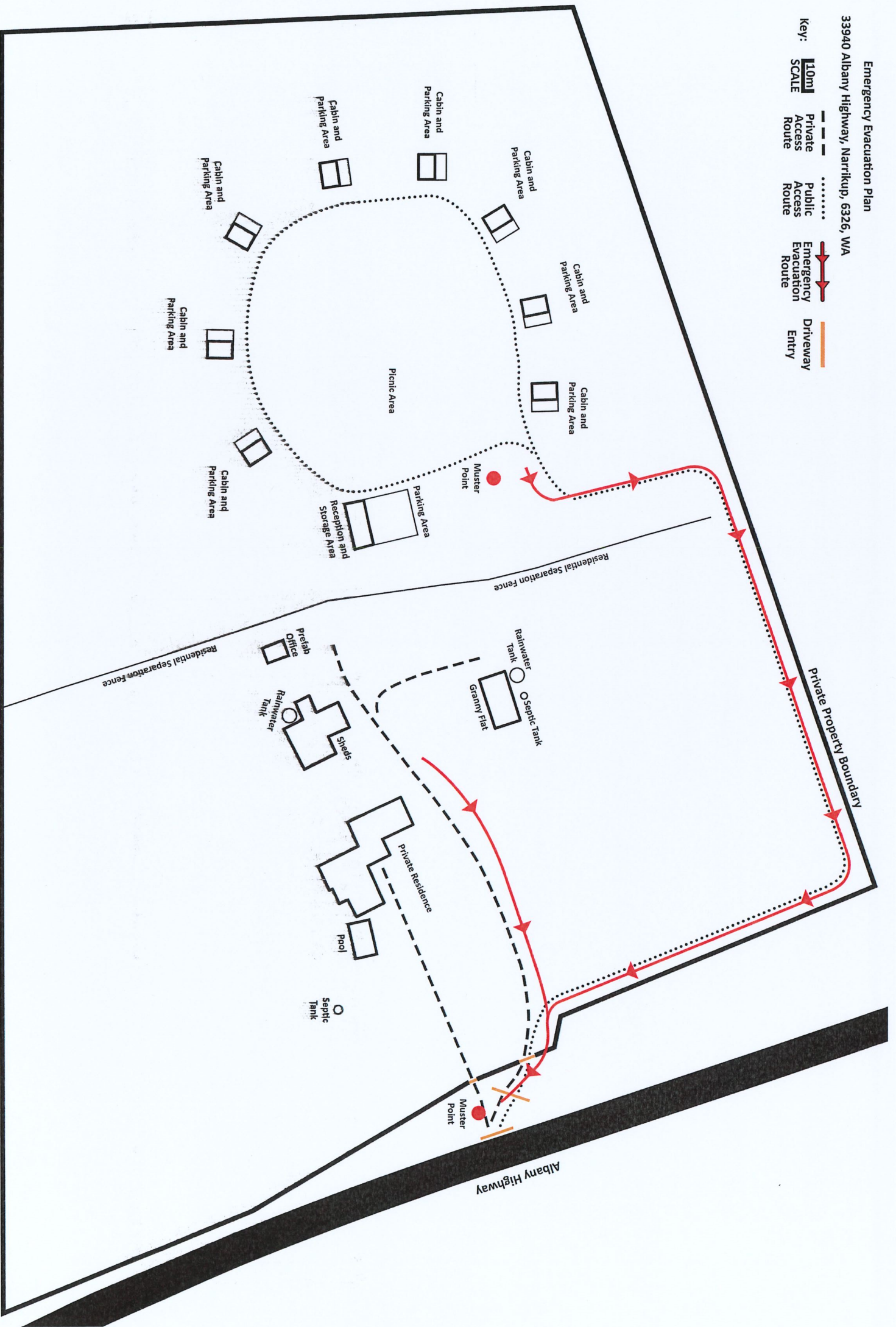
Notes:

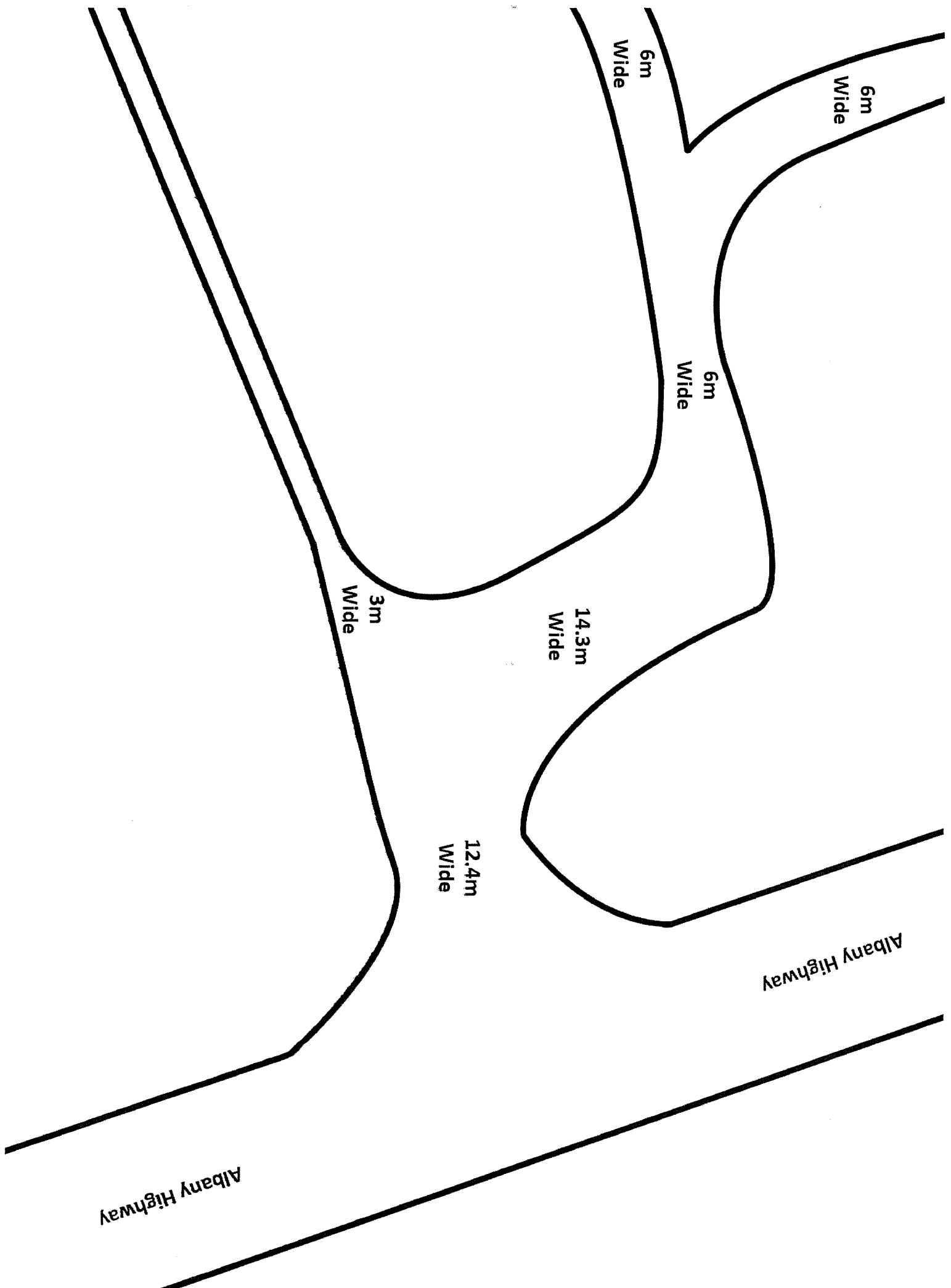
- Main entrance & exit from property is 10m wide, spreading to ~30m by highway
- Leach Drains are at least 2m away from cabins and property boundary
- All road entrances & exits within property boundary are 6m wide
- All roads, except public access routes, already exist on property
- All structures, except cabins, already exist on property
- Each cabin is proposed to be 57 square metres
- All private access routes are 3m wide
- All public access routes are 6m wide



Emergency Evacuation Plan
 33940 Albany Highway, Narrikup, 6326, WA

- Key:
-  Private Access Route
 -  Public Access Route
 -  Emergency Evacuation Route
 -  Driveway Entry





MATERIAL SPECIFICATION

STEEL FRAME
Ref: Engineering Design & Documentation

WALL CONSTRUCTION

Panel Types

1. Classic: 75mm EPS.
2. Deluxe: 60mm EPS + 16mm PU cladding.
(EPS - Expanded Polystyrene)
(PU - Polyurethane rigid cladding)

Cladding

- Surface
- Nano anti-stain, treated aluminum-zinc coated colour steel sheet.

Core

- Fire-treated rigid polyurethane foam.
 - Aluminum foil anti-corrosion layer applied to the bottom.
- Dimensions
- Thickness: 16 mm, width 383 mm.

ROOF CONSTRUCTION

- EPS Composite panel, 50mm thick.

FLOOR CONSTRUCTION

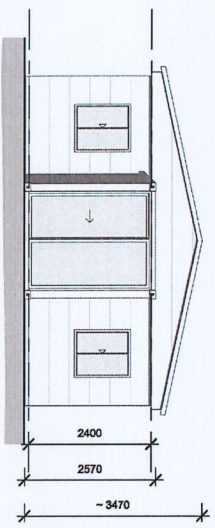
- Base
- 18mm Magnesium Oxide Panel on steel frame.
- Finish
- Classic: 2mm PVC flooring.
 - Deluxe: 4mm SPC (rigid core vinyl) flooring.
(SPC - Stone Plastic Composite)

DOORS & WINDOWS

- Exterior
- Aluminum Frames.
 - Double Glazed - As per Energy Rating.
- Interior
- Frames - Aluminum
 - Doors - TBC

ELECTRICAL & PLUMBING

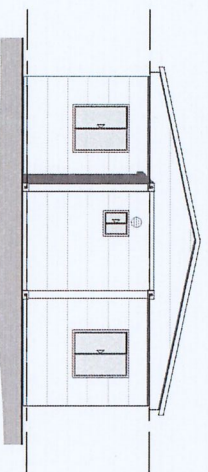
- As per Australian Standards
- As per Australian Standards



1 Front - Entry
1 : 100



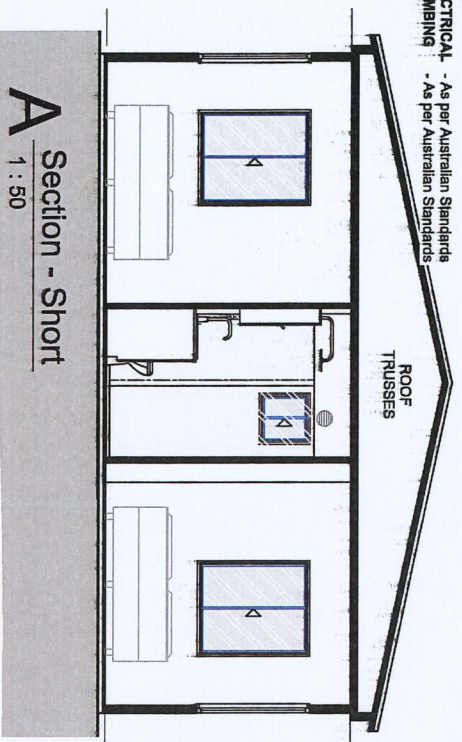
2 Right
1 : 100



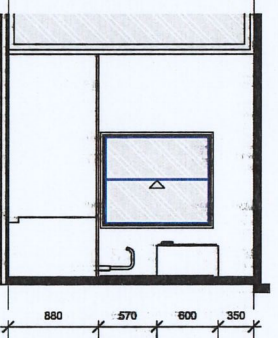
3 Back
1 : 100



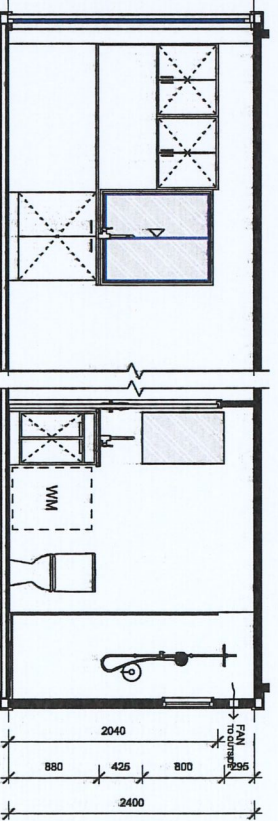
4 Left
1 : 100



A Section - Short
1 : 50



B Kitchen
1 : 50



C Section - Kitchen / Bathroom
1 : 50



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PVT. LTD.

REV	DATE	DESCRIPTION

CLIENT: EcoPortables
PROJECT: EP40_3BR-1_VIC_Rev-0
ADDRESS:

TITLE: Elevations, Cross Sections,
Material Specification

Project number	12.01.2026	Scale	As indicated
Date	12.01.2026	Scale	As indicated
Drawn by	JE	Scale	As indicated
Checked by	JE	Scale	As indicated

A102

A3

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EcoPortables

30FT. 2 BED - 2.4M CEILING

DRAWING LIST

SHEET SET	SHEET	SHEET NAME
EP30_2BR_VIC_Rev-0	A101	Ground Floor Plan, Window & Door Schedule
EP30_2BR_VIC_Rev-0	A102	Elevations, Cross Sections, Material Specification
EP30_2BR_VIC_Rev-0	A103	Plumbing & Electrical Layouts

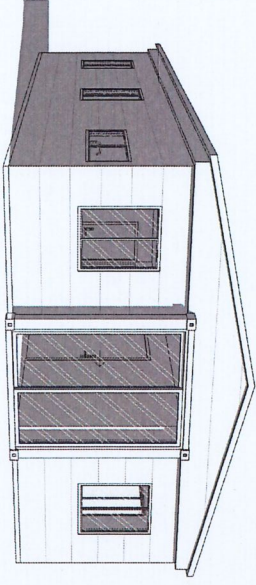
Area Schedule

Area Type	Area
Gross Building Area	68 m ²

Room Schedule

Name	Area
Kitchen / Dining / Living	22 m ²
Laundry	6 m ²
Bed 1	5 m ²
WIR	4 m ²
Bed 2	7 m ²

WIND CATEGORY
 As Specified by Engineer



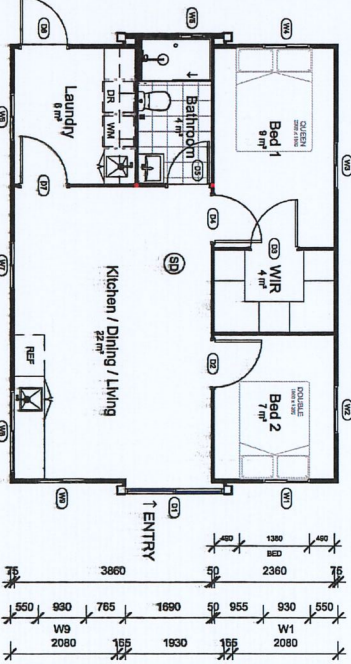
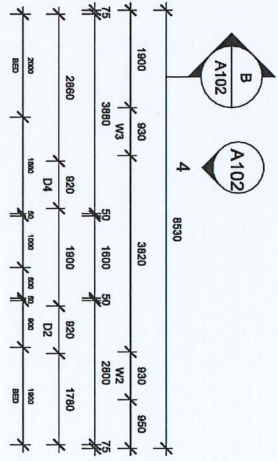
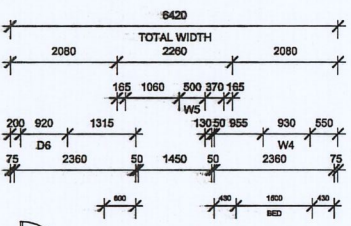
1 Entry Perspective

WINDOW SCHEDULE

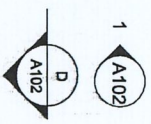
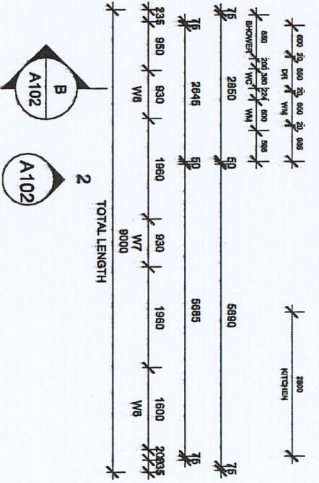
MARK	DESCRIPTION	HEIGHT	WIDTH	FRAME	GLAZING	FLYSCREEN	COMMENTS
W1	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W2	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W3	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W4	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W5	Sliding	600	600	Aluminium	Double Glazed	Mesh Mesh	
W6	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W7	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W8	Sliding	600	600	Aluminium	Double Glazed	Mesh Mesh	
W9	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	

DOOR SCHEDULE

MARK	DESCRIPTION	HEIGHT	WIDTH	FRAME	DOOR	COMMENTS
D1	Sliding	2360	1860	Aluminium	Aluminium	
D2	Hinged	2040	820	Aluminium	Aluminium	
D3	Hinged	2040	820	Aluminium	Aluminium	
D4	Hinged	2040	820	Aluminium	Aluminium	
D5	Hinged	2040	820	Aluminium	Aluminium	
D6	Hinged	2040	820	Aluminium	Aluminium	
D7	Hinged	2040	820	Aluminium	Aluminium	

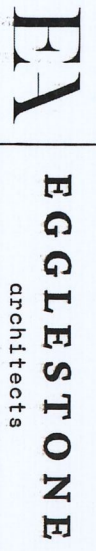


2 Ground Floor
 1 : 100



TITLE: Ground Floor Plan, Window & Door Schedule

Project number	12.01.2026	Scale	1 : 100
Date	12.01.2026	Drawn by	JE
Checked by	JE	Scale	As Specified by Engineer



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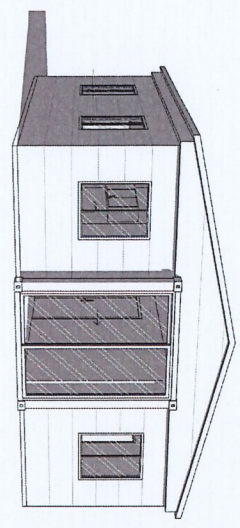
20FT. 1 BED - 2.4M CEILING

DRAWING LIST	
SHEET SET	SHEET NAME
EPP20_1BR_VIC_Rev-0	A101 Ground Floor Plan, Window & Door Schedule
EPP20_1BR_VIC_Rev-0	A102 Elevations, Case Studies, Material Specification
EPP20_1BR_VIC_Rev-0	A103 Plumbing & Electrical Layouts

Area Schedule	
Area Type	Area
Gross Building Area	36 m ²

Room Schedule	
Name	Area
Kitchen	8 m ²
Dining/Living	13 m ²
Bed 1	9 m ²
WIR	4 m ²

WIND CATEGORY
 As Specified by Engineer



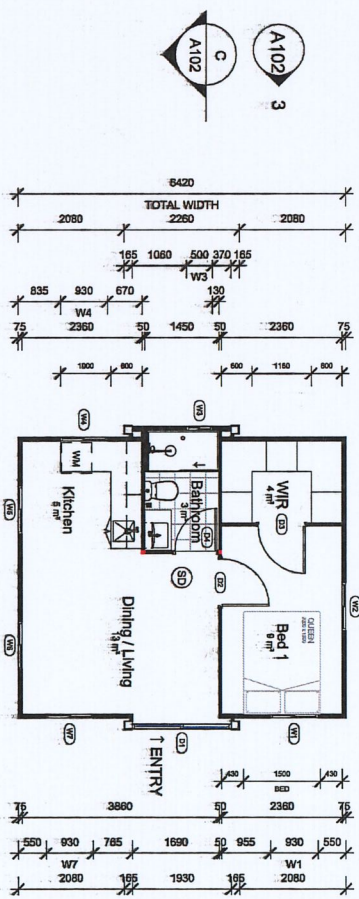
1 Entry Perspective

WINDOW SCHEDULE

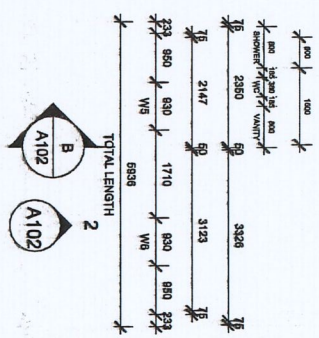
MARK	DESCRIPTION	HEIGHT	WIDTH	FRAME	GLAZING	FLYSCREEN	COMMENTS
W1	Sliding	1100	830	Aluminium	Double Glazed	Mesh Mesh	
W2	Sliding	1100	830	Aluminium	Double Glazed	Mesh Mesh	
W3	Sliding	800	620	Aluminium	Double Glazed	Mesh Mesh	
W4	Sliding	1100	830	Aluminium	Double Glazed	Mesh Mesh	
W5	Sliding	1100	830	Aluminium	Double Glazed	Mesh Mesh	
W6	Sliding	1100	830	Aluminium	Double Glazed	Mesh Mesh	
W7	Sliding	1100	830	Aluminium	Double Glazed	Mesh Mesh	

DOOR SCHEDULE

MARK	DESCRIPTION	HEIGHT	WIDTH	FRAME	DOOR	GLAZING	COMMENTS
D1	Sliding	2300	1850	Aluminium	Aluminium	Double Glazed	
D2	Hinged	2040	820	Aluminium	Aluminium		
D3	Hinged	2040	820	Aluminium	Aluminium		
D4	Hinged	2040	820	Aluminium	Aluminium		



2 Ground Floor
 1 : 100



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REV	DATE	DESCRIPTION	REVISION

CLIENT: EcoPortables
 PROJECT: EPP20_1BR_VIC_Rev-0
 ADDRESS:

TITLE: Ground Floor Plan, Window & Door
 Schedule

Project number	12.01.2026	A101		
Date	12.01.2026			
Drawn by	JE			
Checked by	JE	Scale	1 : 100	A3
Z:\Drawings\2026\12.01.2026\A101.dwg				

MATERIAL SPECIFICATION

STEEL FRAME
Ref: Engineering Design & Documentation

WALL CONSTRUCTION

Panel Types:

1. Classic: 75mm EPS.
 2. Deluxe: 60mm EPS + 16mm PU cladding.
- (EPS - Expanded Polystyrene)
(PU - Polyurethane rigid cladding)

Cladding

- Surface
 - Nano anti-stain treated aluminum-zinc coated colour steel sheet.

Core

- Fire-treated rigid polyurethane foam.
- Aluminum foil anti-corrosion layer applied to the bottom.

Dimensions

- Thickness: 16 mm, width 393 mm.

ROOF CONSTRUCTION

- EPS Composite panel, 50mm thick.

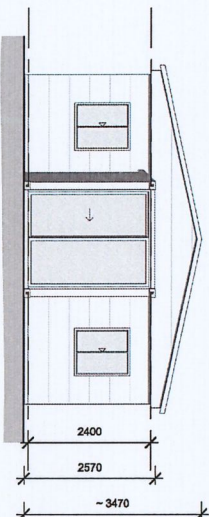
FLOOR CONSTRUCTION

- Base
 - 18mm Magnesium Oxide Panel on steel frame.
- Finish
 - Classic: 2mm PVC flooring.
 - Deluxe: 4mm SPC (rigid core vinyl) flooring.

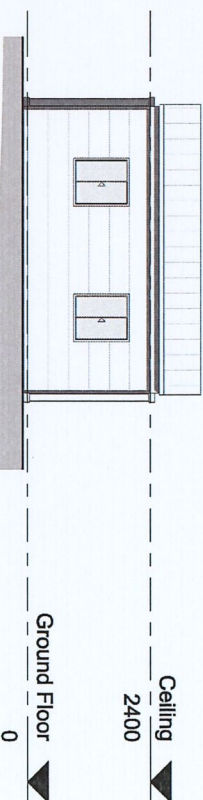
DOORS & WINDOWS

- Exterior
 - Aluminum Frames.
 - Double Glazed - As per Energy Rating.
- Interior
 - Frames - Aluminum
 - Doors - TBC

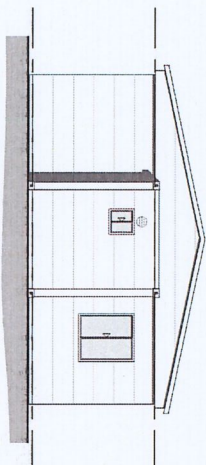
ELECTRICAL - As per Australian Standards
PLUMBING - As per Australian Standards



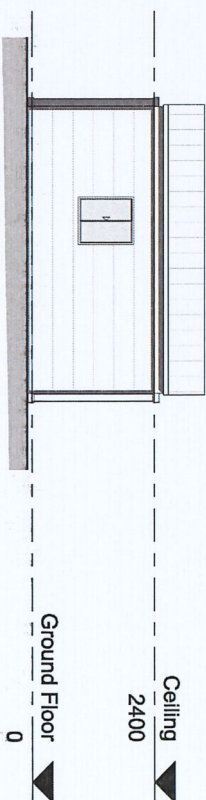
1 Front - Entry
1 : 100



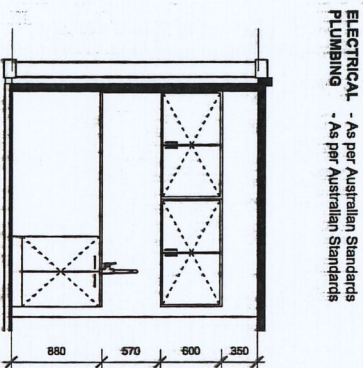
2 Right
1 : 100



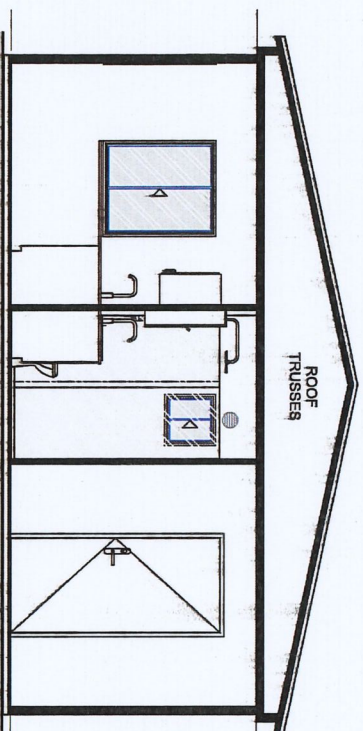
3 Back
1 : 100



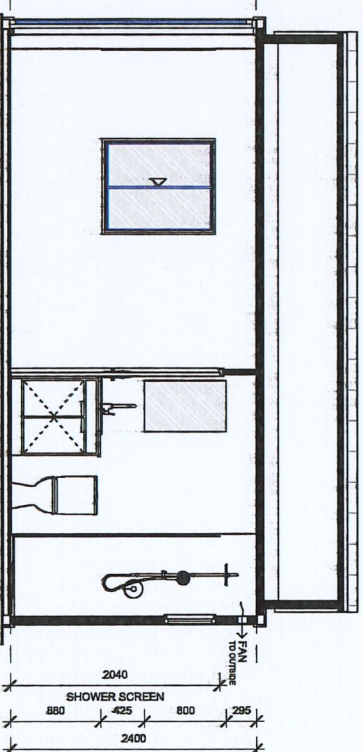
4 Left
1 : 100



A Kitchen
1 : 50



B Section - Short
1 : 50



C Section - Long
1 : 50



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REV	DATE	DESCRIPTION

CLIENT: EcoPortables
PROJECT: EP20_1BR_VIC_Rev-0
ADDRESS:

TITLE: Elevations, Cross Sections,
Material Specification

Project number

Date 12.01.2026

Drawn by JE

Checked by JE

Scale As indicated

A102

A3

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40FT. 3 BED-1 - 2.4M CEILING

DRAWING LIST

SHEET SET	SHEET	SHEET NAME
EP40_3BR-1_VIC Rev-0	A101	Ground Floor Plan, Window & Door Schedule
EP40_3BR-1_VIC Rev-0	A102	Elevations, Cross Sections, Material Specification
EP40_3BR-1_VIC Rev-0	A103	Plumbing & Electrical Layouts

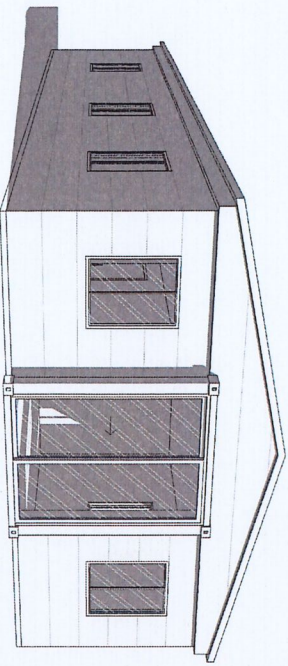
Area Schedule

Area Types	Area
Gross Building Area	74 m ²

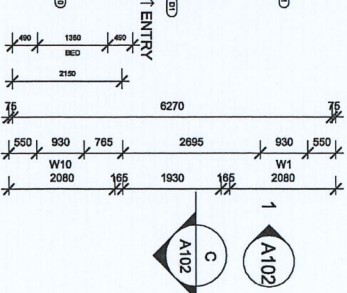
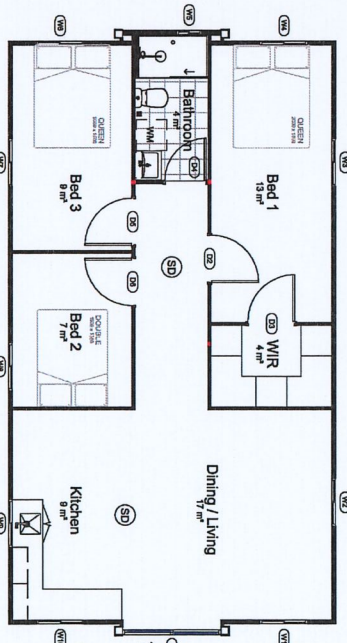
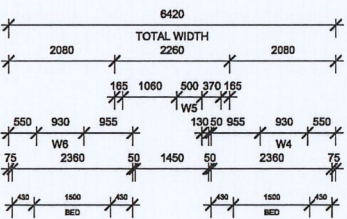
Room Schedule

Name	Area
Kitchen	13 m ²
Dining/Living	17 m ²
Bathroom	6 m ²
Bed 1	13 m ²
WIR	4 m ²
Bed 2	7 m ²
Bed 3	9 m ²

WIND CATEGORY
 As Specified by Engineer



1 Entry Perspective



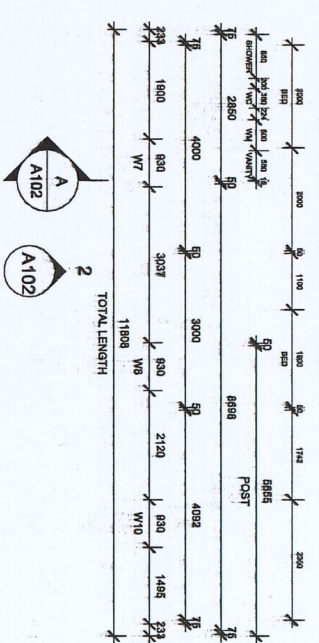
WINDOW SCHEDULE

MARK	DESCRIPTION	HEIGHT	WIDTH	FRAME	GLAZING	FLYSCREEN	COMMENTS
W1	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W2	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W3	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W4	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W5	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W6	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W7	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W8	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W9	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	
W10	Sliding	1100	630	Aluminium	Double Glazed	Mesh Mesh	

DOOR SCHEDULE

MARK	DESCRIPTION	HEIGHT	WIDTH	FRAME	DOOR	GLAZING	COMMENTS
D1	Sliding	2300	1850	Aluminium	Aluminium	Double Glazed	
D2	Hinged	2040	820	Aluminium	Aluminium		
D3	Hinged	2040	820	Aluminium	Aluminium		
D4	Hinged	2040	820	Aluminium	Aluminium		
D5	Hinged	2040	820	Aluminium	Aluminium		
D6	Hinged	2040	820	Aluminium	Aluminium		

2 Ground Floor
 1 : 100



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REV	DATE	DESCRIPTION

CLIENT: EcoPortables
 PROJECT: EP40_3BR-1_VIC_Rev-0

TITLE: Ground Floor Plan, Window & Door Schedule

Project number: 12.01.2026
 Date: 12.01.2026
 Drawn by: JE
 Checked by: JE

Scale: 1 : 100
 Sheet: A101
 Size: A3

MATERIAL SPECIFICATION

STEEL FRAME
Ref: Engineering Design & Documentation

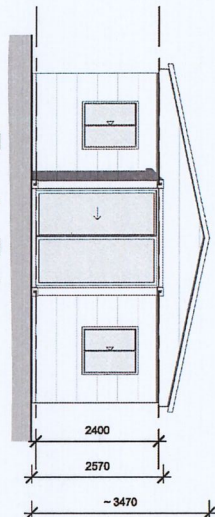
WALL CONSTRUCTION

Panel Types

- Classic: 75mm EPS.
- Deluxe: 60mm EPS + 16mm PU cladding. (EPS - Expanded Polystyrene) (PU - Polyurethane rigid cladding)

Cladding

- Nano anti-stain treated aluminum-zinc coated colour steel sheet.



1 Front - Entry
1 : 100



2 Right
1 : 100

ROOF CONSTRUCTION

- EPS Composite panel, 50mm thick.

FLOOR CONSTRUCTION

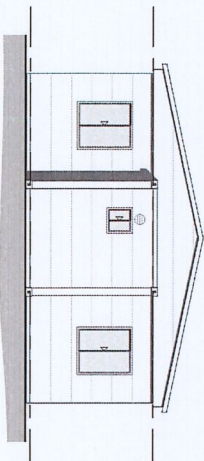
- 18mm Magnesium Oxide Panel on steel frame.

- Finish**
- Classic: 2mm PVC flooring.
 - Deluxe: 4mm SPC (rigid core vinyl) flooring. (SPC - Stone Plastic Composite)

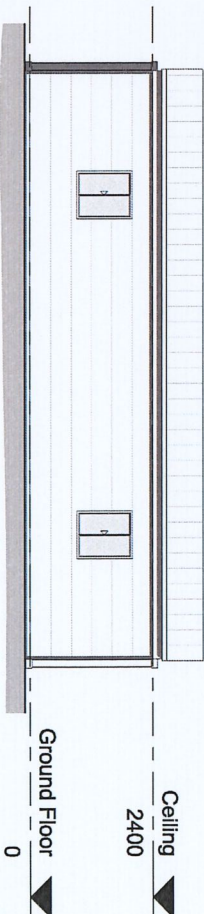
DOORS & WINDOWS

- Exterior**
- Aluminium Frames.
 - Double Glazed - As per Energy Rating.
- Interior**
- Frames - Aluminium
 - Doors - TBC

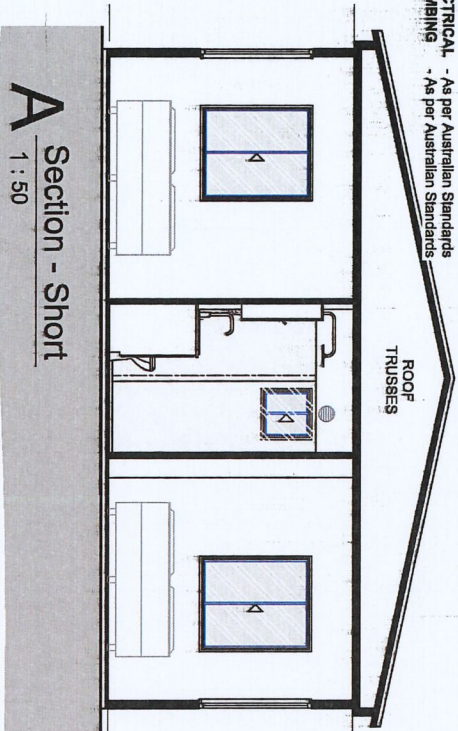
ELECTRICAL - As per Australian Standards
PLUMBING - As per Australian Standards



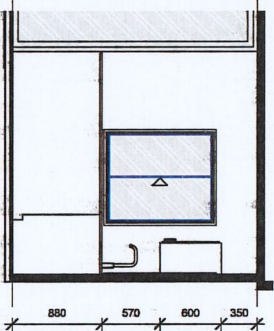
3 Back
1 : 100



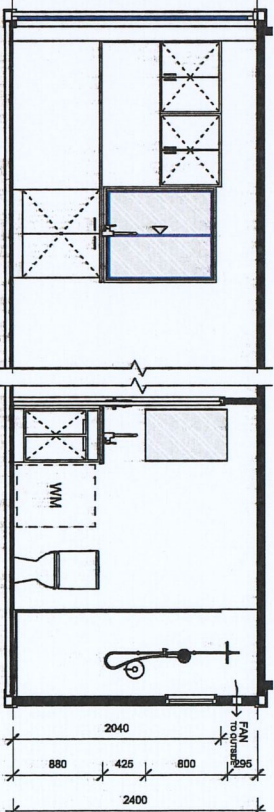
4 Left
1 : 100



A Section - Short
1 : 50



B Kitchen
1 : 50



C Section - Kitchen / Bathroom
1 : 50



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REVISION

REV	DATE	DESCRIPTION

CLIENT:  EcoPortables

PROJECT: EP40_3BR-1_VIC_Rev-0

ADDRESS:

TITLE: Elevations, Cross Sections,
Material Specification

Project number: _____
Date: 12.01.2026

Scale: As indicated

Drawn by: JE
Checked by: JE

A3

HOLIDAY ACCOMMODATION MANAGEMENT PLAN

Narrikup Farm Chalets & Property Address: 33940 Albany Highway, Narrikup, WA, 6326

Overview & Objectives

The purpose of this management plan is to outline the operational, staffing, financial, and compliance framework for the effective management of eight (8) self-contained chalets operating as short-term accommodation and consist of 4 one-bedroom chalets, 2 two bedroom chalets and 2 three bedroom chalets.

Primary objectives:

- Deliver high-quality guest experiences
- Maintain consistent occupancy and revenue
- Ensure efficient, compliant, and cost-effective operations
- Protect and enhance the long-term value of the property

Ownership & Oversight

- The property is overseen by the owner or appointed management entity.
- Contact details of Owner and Keeper/Manager will be displayed at each chalet and provided to occupants on arrival.
- Strategic decisions (pricing strategy, capital improvements, branding) are managed at ownership/management level.

Management Responsibilities include:

- Booking and calendar management
- Guest communication
- Housekeeping coordination
- Maintenance scheduling
- Financial reporting

Booking & Reservation Management

- Listings maintained on multiple platforms (e.g. Airbnb, Booking.com, direct website).
- Channel manager software used to:
 - Prevent double bookings
 - Sync pricing and availability
 - Automate guest messaging

- **Key policies:**
- Minimum stay requirements (seasonal)
- Cancellation policy aligned with market demand
- Dynamic pricing based on occupancy, seasonality, and local events

Compliance & Risk Management

The accommodation will comply with:

- Local planning and zoning requirements
- Short-term accommodation regulations
- Insurance requirements, including public liability
- Fire safety and emergency plan provided

Bushfire and Emergency Management

- Bushfire risk will be managed through:
 - Approved Bushfire Management Plan (BMP)
 - Clearly marked emergency evacuation routes
 - Designated emergency muster points
 - Emergency procedures displayed in each chalet
 - Annual maintenance of firebreaks and asset protection zones
 - Guests will be informed of emergency procedures on arrival.
 - Smoke alarms installed in accordance with regulations
 - Fire extinguishers and fire blankets provided where required

Environmental Management

- Existing vegetation retained where possible
- Landscaping used to provide visual screening
- Guests encouraged to respect wildlife and farm operations
- Tourism use will not interfere with ongoing agricultural activities.

Review & Continuous Improvement

- This Management Plan will be reviewed annually.
- Guest feedback, complaints, and incident records will inform improvements.
- Procedures will be updated as required by regulatory changes or operational experience.

The owner/operator is responsible for day-to-day management of the holiday home, including:

Guest numbers and length of stay

Number of chalets: 8

Facilities include private bathroom and kitchenette per chalet

Furnished living and guest areas

Maximum occupancy per chalet: 4-6 persons dependant on size of chalets

Minimum stay: 1 Night

Long-term accommodation: Not permitted

The chalets will operate exclusively as short-stay holiday accommodation.

Guest Experience Management

Pre-Arrival

- Automated booking confirmation and check-in instructions
- Digital guest guide including:
 - Property rules
 - Wi-Fi details
 - Local attractions and services
 - Emergency contacts

Check-In / Check-Out

- Self check-in via key safe or smart lock
- Clear check-out instructions to reduce cleaning delays

During Stay

- Dedicated contact number for guest enquiries
- Response time target: within 1 hour during business hours, same day after hours
- Proactive issue resolution to maintain high review ratings

Housekeeping & Cleaning

- Professional cleaners engaged on a per-stay basis
- Standardised cleaning checklist for consistency
- Linen and towel service included
- Deep cleaning scheduled regularly

Quality control:

- Periodic inspections
- Guest feedback monitored and addressed promptly

Maintenance & Asset Management

- Preventative maintenance schedule in place

- Maintenance log maintained for each chalet
- Preferred local trades engaged for:
 - Plumbing
 - Electrical
 - HVAC
 - General repairs
 - Maintenance

Emergency procedures:

- 24/7 access to emergency trades
- Clear escalation process for urgent issues

Guest Behaviour, Noise & Disturbance Control

House Rules

All guests are required to comply with clearly defined house rules, which include:

- No parties, events, or gatherings
- Quiet hours between 10:00pm and 7:00am
- Maximum occupancy limits per chalet
- Respect for neighbouring residents at all times

House rules are:

- Displayed within each chalet
- Provided at booking confirmation
- Reinforced at check-in

Noise Control Measures

- Guests are advised that the property is located near permanent residents.
- Outdoor noise is restricted during night hours.
- Televisions and music must be kept at reasonable levels.
- Management reserves the right to issue warnings or terminate bookings for repeated breaches.

Control of Anti-Social Behaviour & Conflict Prevention

To prevent anti-social behaviour and minimise conflict between tourists and permanent residents:

- Bookings are screened through booking platforms.
- Minimum age requirements apply to the primary booking guest.
- Group bookings likely to cause disturbance are not accepted.

- Clear limits on visitor numbers apply.
- Management intervention procedures are in place for non-compliance.

In the event of serious or ongoing issues, management may:

- Attend the site
- Contact security services
- Involve local authorities if required

Complaints Management Procedures

Complaints from Neighbours or the Public

- A dedicated contact phone number will be provided to neighbours and the local shire.
- All complaints will be acknowledged promptly.
- Immediate action will be taken to investigate and resolve issues.

Complaints Register

Management will maintain a complaint register documenting:

- Date and time of complaint
- Nature of the issue
- Action taken
- Outcome and resolution time

This register will be made available to the relevant authority upon request.

Security of Guests, Visitors & Neighbours

Security measures include:

- Adequate external lighting of paths and parking areas
- Secure locks on all chalet doors and windows
- Self check-in systems with individual access codes
- Emergency contact information provided to all guests

Management maintains:

- Clear emergency procedures
- Access to local emergency and security services
- Regular inspections to identify potential safety risks

These measures ensure the safety of guests while minimising risks to neighbours and visitors.

Car Parking Management for Guests & Visitors

On-Site Parking Provision

- Designated on-site car parking spaces per cabin are provided for guests.
- Parking areas are clearly marked and maintained.
- Guests are instructed to park only in designated spaces.
- Visitor numbers are limited to prevent overflow parking.
- Parking rules are communicated prior to arrival and displayed on-site.
- Management will address any parking issues promptly.
- Repeated breaches may result in warnings or termination of the booking.

Waste Management

- Each chalet provided with waste and recycling bins
- Centralised, screened waste storage area
- Guests instructed on waste separation and disposal
- No waste burning or illegal dumping permitted.

Review and Compliance

- This Management Plan will:
 - Be reviewed annually
 - Be updated if operational changes occur
 - Be made available to the Shire upon request
 - The owner/operator commits to full compliance with all conditions of approval.

Overview of on-site effluent disposal system for the proposed 8 chalet short-term accommodation development:

Wastewater generated from each chalet's bathroom and kitchen will be treated and disposed of within the property boundary using an on-site wastewater treatment system.

The system consists of:

1. Collection system (gravity sewer network between chalets)
2. Primary treatment (septic tank)
3. Secondary treatment (leach drain)

Closer to approval, plumber will draft a precise plan of the system.

Existing Paintball Schedule:

Saturday and Sunday Daily 09:00 and 14:00 slots (4 games per weekend)

Weekdays (Bookings taken and times allocated on special request)

Upon opening of the accommodation business, the paintball business will cease operation immediately.

Conclusion

This Management Plan demonstrates a proactive and responsible approach to managing short-term accommodation. It ensures guest enjoyment while protecting the amenity, safety, and wellbeing of neighbouring residents and the wider community.

Current Vehicle Movement:

There can be up to 40 players per game. An average of 10 to 15 vehicles arrive per game. Most times players bring family to spectate. Thus, there could be between 40 and 60 vehicles for paintball per week.

Future Vehicle Movement:

For the proposed accommodation, we estimate one vehicle per chalet per stay. Assuming maximum occupancy of the 8 proposed chalets, we expect a maximum of 8 vehicles on the property at any time. Though it is unlikely that all 8 vehicles will be entering and exiting the property simultaneously due to the fact that each chalet represents an individual stay rather than a group activity like the paintball.

Justification Letter – Proposed Development of Eight (8) Tourist Chalets at 33940 Albany Highway, Narrikup

To whom it may concern,

We are writing to provide justification and supporting information for our proposal to develop eight (8) self-contained tourist chalets on our farm property located on Albany Highway, Narrikup.

Our family currently operates a paintball business on this property, which regularly attracts up to 50 visitors per game session, hosting several games per week. While the paintball business is a successful and enjoyable venture, we would like to close this operation in order to pursue a new direction that aligns more closely with local tourism and provides a quieter, more sustainable use of the land.

A key point of consideration relates to vehicle traffic entering our property from Albany Highway. The paintball business generates significant short-term traffic movements, with groups of players arriving and departing simultaneously. In contrast, the proposed accommodation use will result in a substantial reduction in traffic volume and frequency. Guests will typically arrive individually or as a family, often outside of peak traffic hours, and will remain on-site for extended stays. This represents a net decrease in traffic impacts and

will therefore alleviate concerns previously raised by Main Roads WA regarding vehicle movements and turning safety.

The development of these chalets will also contribute positively to the Shire of Plantagenet's and the Great Southern region's tourism offering. Albany and its surrounding areas are popular destinations for both domestic and international travellers, particularly during holiday seasons. Our vision is to create themed, unique, and high-quality accommodation that complements the rural character of the area and attracts visitors seeking a distinctive and peaceful farm-stay experience.

We believe our proposal supports the Shire's objectives for sustainable tourism development and rural diversification, providing both local economic benefits and a new accommodation option for visitors exploring the region.

We appreciate your consideration of our proposal and welcome the opportunity to discuss any further details or address any concerns the Shire may have.

Yours sincerely,